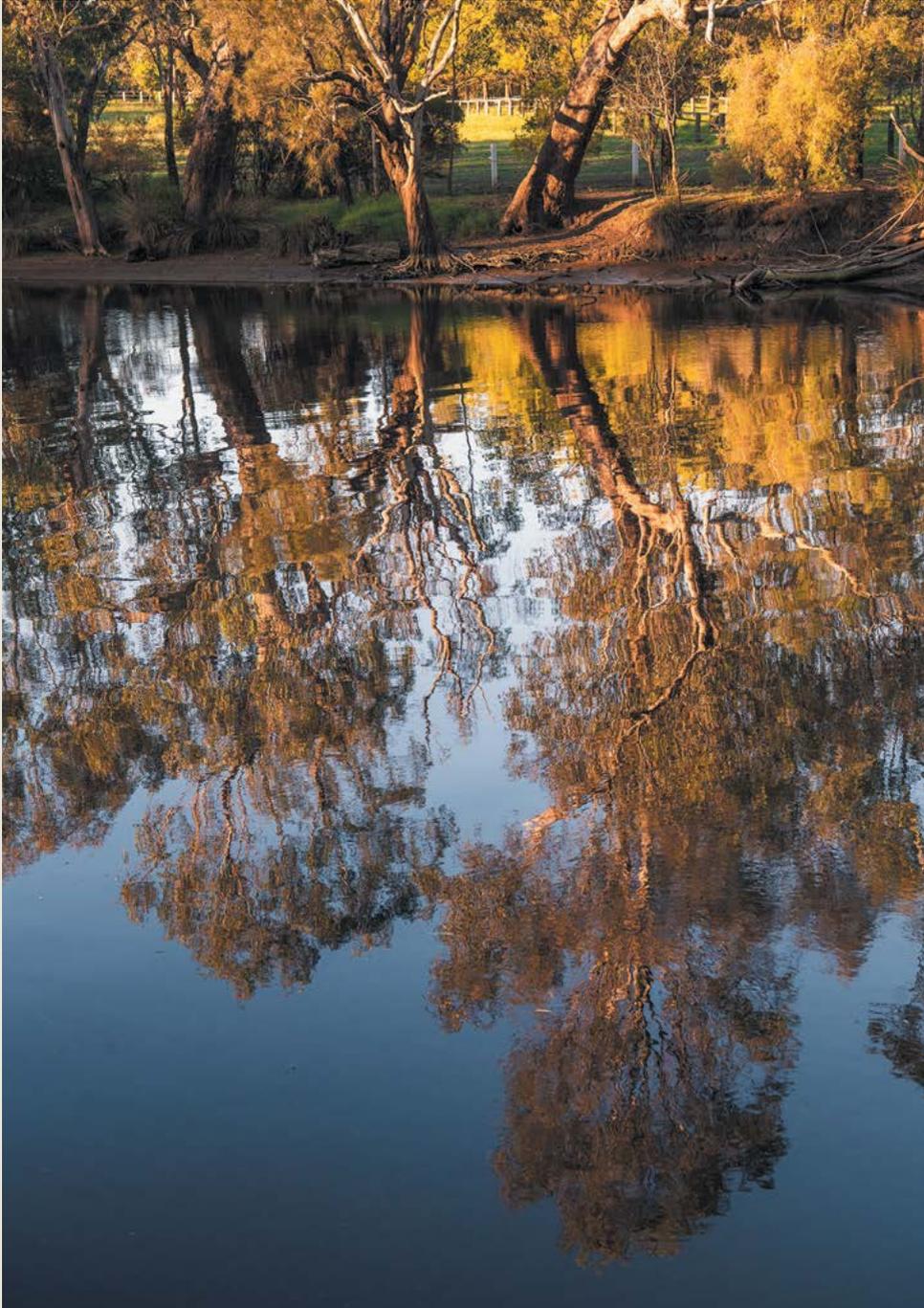


RIVERMARK

• VIVEASH •

STAGE 1 DESIGN GUIDELINES



About this guide

The Rivermark vision is to create an urban residential community that has strong connectivity with public spaces along the Swan River foreshore.

This guide outlines the mandatory requirements and provides residents with an overview of design and development principals, practices, and recommendations to guide the creation of their home at Rivermark.

For any questions relating to this guide please contact:
reviews@hesperia.com.au





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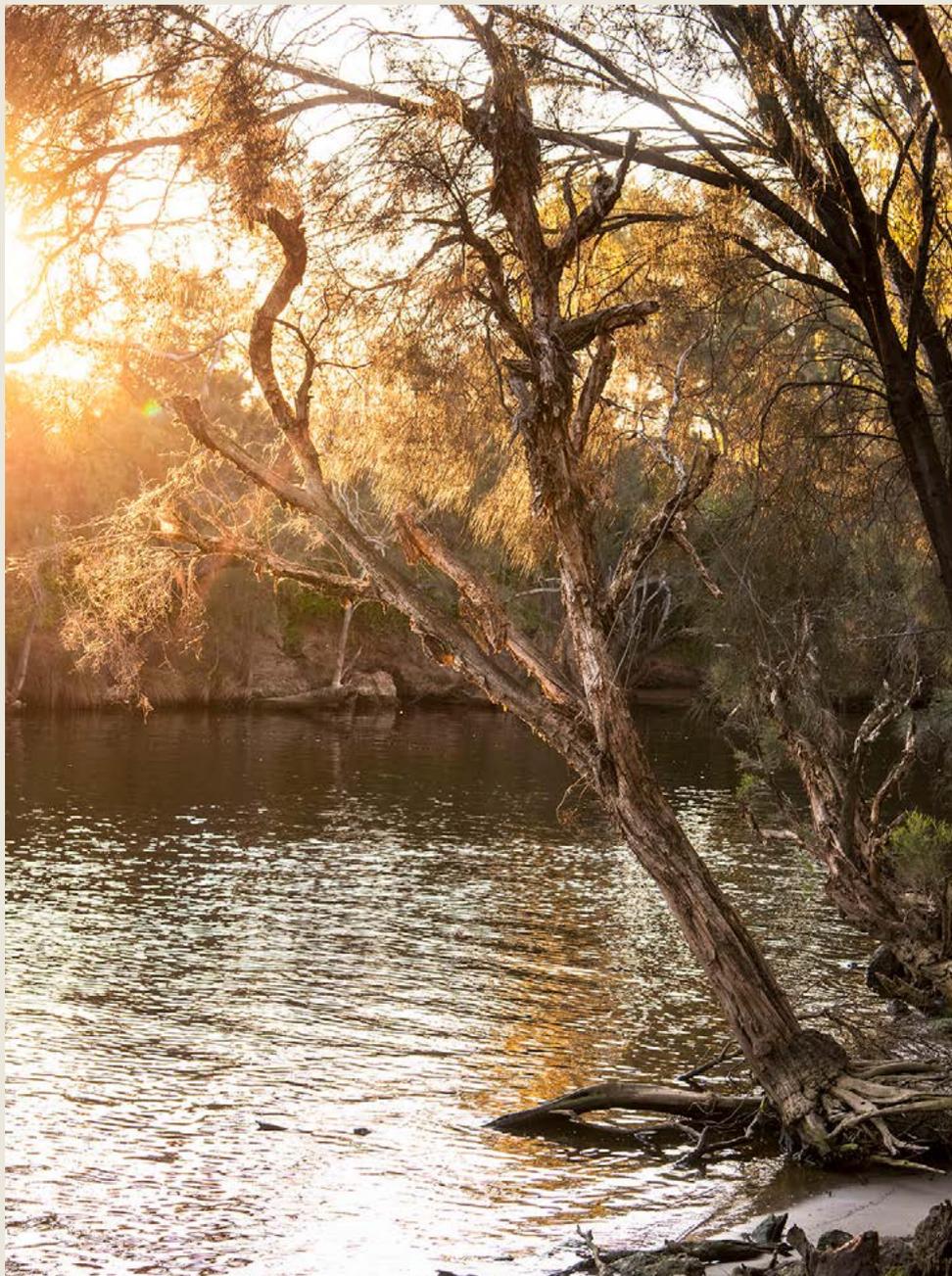
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01 Vision



Vision

Fronting a quiet bend on the meandering Swan River, Rivermark is a place where heritage, nature and new thinking flow as one.

This is a place that spans between a tributary of Blackadder Creek and touches the banks of the Swan River, Derbil Yerrigan – a setting for many stories, memories and experiences.

The river is a physical reminder of the area's Traditional Owners – the Whadjuk people of the Noongar nation – and the significance of land and river to them as a landmark deeply woven into their culture and way of life. We pay respect to Whadjuk Noongar Elders past, present and emerging and thank them for their contributions in developing the story of country here at Rivermark.

In 1827, James Stirling's expedition to explore the Swan River led to the establishment of farms and estates that benefited from the rich alluvial soil of the wide river flats – a colonial history that can be explored today along riverside walking trails.

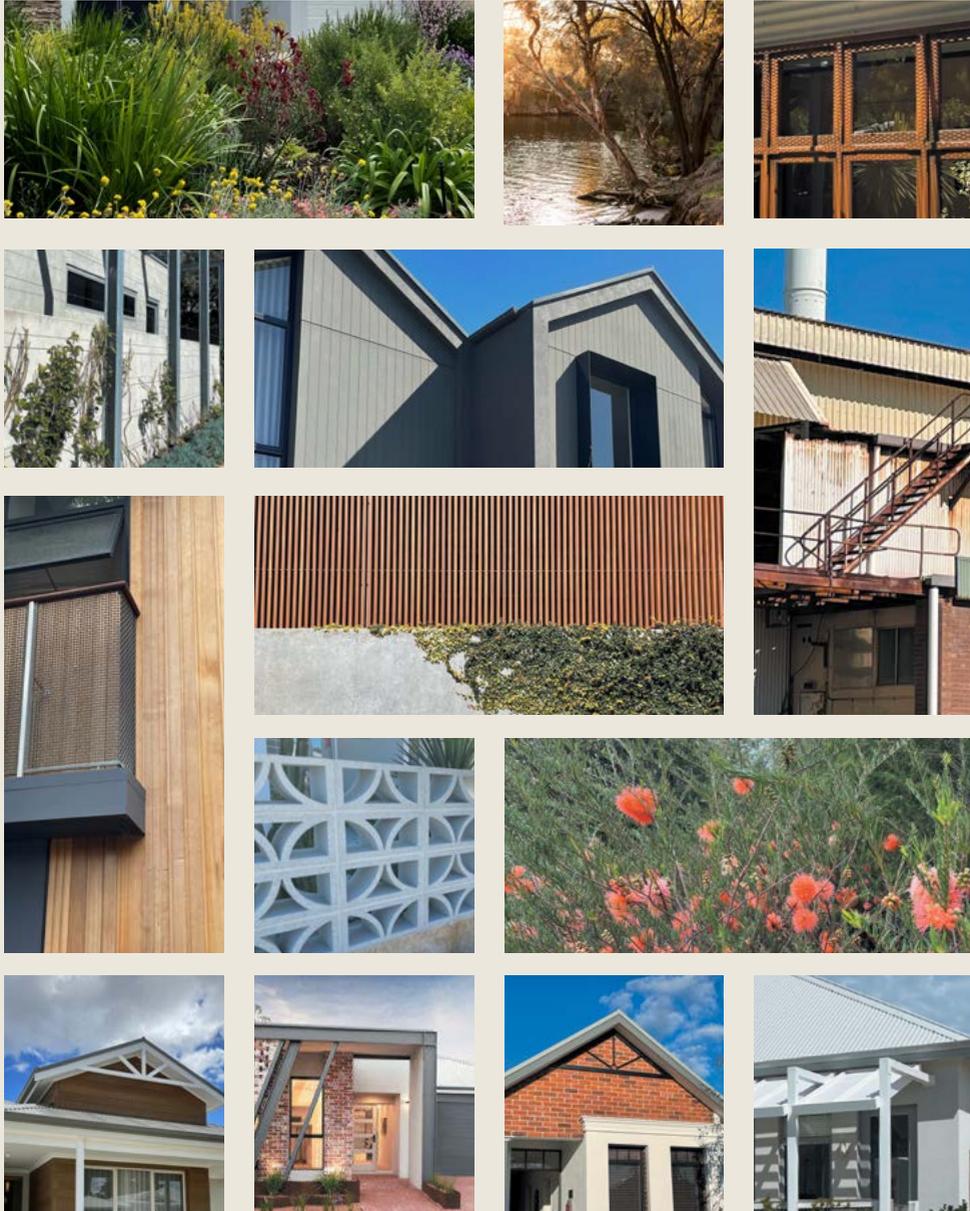
Rivermark's past as the site of the iconic Midland Brick can be found in the rustic beauty of its old kilns.

Founded in 1946 by brothers Ric and Gerry New, Midland Brick drew upon the rich clay deposits of the area and supplied the bricks that built post-Second World War era homes across Perth.

Rivermark is the next chapter – the homes, neighbours and community here will continue this story.

The Rivermark landscape is a continuous ribbon of green threading the creek and river together, woven through the streets as a constant reminder of where you are. Homes at Rivermark are fresh, modern, innovative and sensitive to their surrounding environment, defined by their variety, palette of textured materials and earthy colours.

Rivermark is independently certified as a 6 Leaf EnviroDevelopment, meeting stringent benchmarks under six key categories – ecosystems, waste, energy, water, materials and community – to deliver a community which will aim to achieve net zero carbon. Also recognised by Watercorp as a Gold Waterwise development, Rivermark will incorporate advanced water-efficient design, rainwater conservation and native gardens to reduce potable water use. Construction will have dedicated waste management and recycling services, and recycled materials will be incorporated into local roads and landscape features.



These guidelines reflect a commitment to creating a sustainable community, with homes that maintain a high standard of design, mirror the surrounding natural environment, and embody the vision for Rivermark. The considerations outlined in this guide will assist with future-proofing your home and investment, while reducing operating costs.

This document addresses four key areas for consideration when designing your home.

1. Street Appeal
2. Keeping it Tidy
3. Environmental Smarts
4. Gardens

In this document any item noted with a;

“ → ” is a mandatory item

“ ⇨ ” is a recommendation.



02 Street Appeal

Street Appeal

Rivermark is of its place, taking inspiration from its industrial heritage and traditional built forms via robust, earthy materials, colours and textures.

Rivermark housing is interesting and varied – homes are prominent within streetscapes, engage with the street and neighbours, and are visibly connected with the environment.

A mix of styles will be seen across Rivermark, threaded together by similarities in texture, material, tone and the use of light and shade.

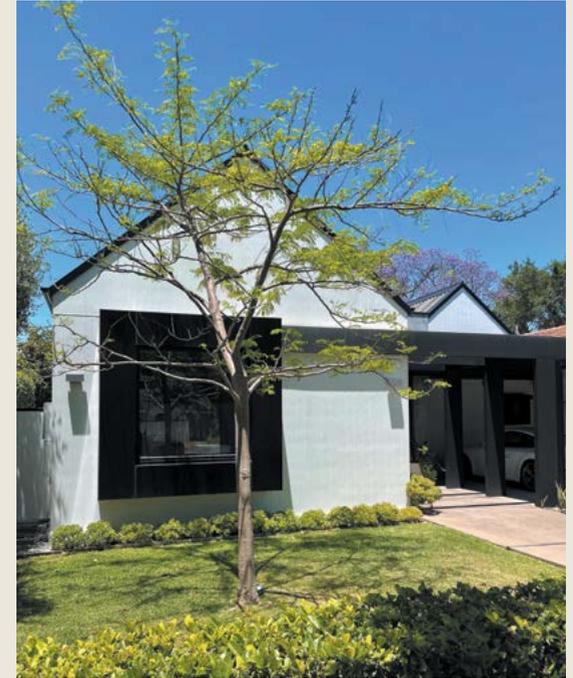
The front of the home is where you can express your individual style, add street appeal and incorporate elements that speak to your personal aesthetic. This section outlines elements to consider, along with the feature requirements for all homes at Rivermark.



Front features

→ All homes at Rivermark are to incorporate a **minimum of one of the following architectural features to the front of the home:**

- Balcony
- Portico
- Verandah
- Gable
- Non-standard brick bonding as a feature wall

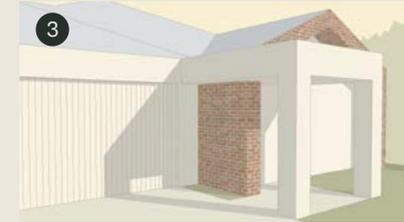


- Piers and blade walls will not satisfy architectural feature requirement.
- Other architectural features will be considered at the developer's discretion.

Making the house prominent

→ Homes on lots less than 14m wide with a garage accessed from the primary street are required to incorporate a **minimum of one of the following elements:**

- 1 A GABLED GARAGE
- 2 A PLANTED TRELLIS over the garage door to the extent of the opening as a minimum
- 3 A GARAGE SETBACK of 1.5m or more from outside wall of main internal room of dwelling
- 4 Cars are parked within a PERGOLA which is screened on at least two sides
- 5 The external walls of a portico, verandah or main roof of the dwelling are a minimum of 3c higher than the garage external walls
- 6 The garage is contained within a double story and contains a balcony or Juliette balcony over the garage



DEFINITIONS:

Pergola, an open structure in timber, composite or metal. It may contain shade elements such as awnings, louvres or battens and is of high architectural quality. It is not a modular or prefabricated unit and incorporates planting. Modular carports are not permitted.

Planted Trellis, a timber or metal structure above and to the extent of the garage doors, generally supported by cantilevered brackets.

Walls facing the street

→ To celebrate the brick history of the site, all homes are to incorporate face brick into walls on the primary street elevation or within the landscape design by way of letterbox, fence, planters, etc.

→ Walls on the primary street elevation must include at least two different colours and two different materials. The secondary colour and/or material is to occupy at least 20% of the primary elevation.

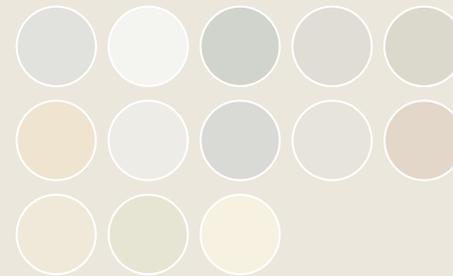
→ Material and colour finishes should change at re-entrant corners and are required to continue at least 1m along the side elevation.

→ On secondary streets, there must be a major opening from a habitable room forward of the fence line and the wall material on the primary street elevation must continue along the secondary street elevation to the fence line as a minimum standard.

→ Colours are to be selected from the colour palette range that is reflective of the landscape and riverine setting and specified in the Design Approval Application and Checklist.



PRIMARY COLOUR PALETTE



SECONDARY COLOUR PALETTE

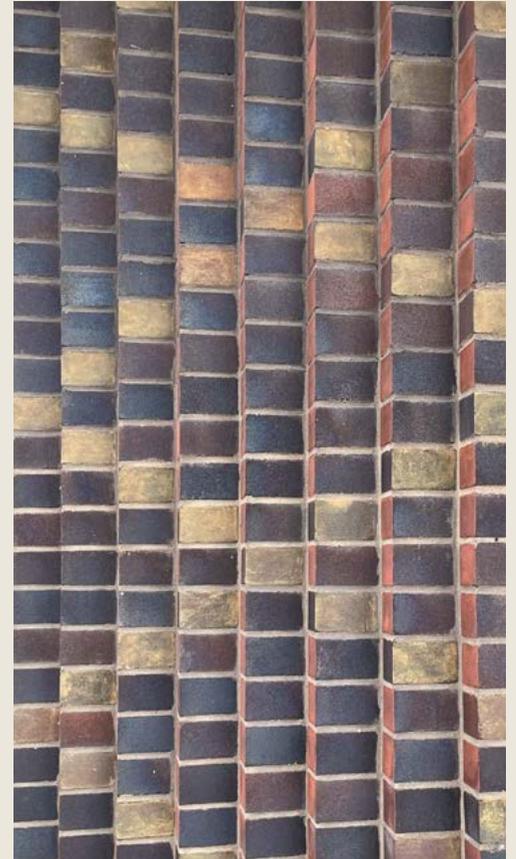
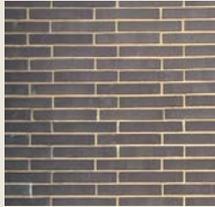


This colour selection represents a palette of colours for walls derived from the colours of red and brown earth and grey-blue skies. Colours selected must be within this range of colours. The palette suggests lighter colours for the main wall colour and earthy, natural colours as highlights.

- A complete face brick elevation will be considered by the developer where a visible bonding pattern or brick screen design is incorporated.
- A fully clad weatherboard elevation excluding garage walls will be considered by the developer.
- 2c brick is not permitted to primary elevation.
- Brick colours are not required to conform to the above colour palette.

BRICK

Brick bonding can be used to add detail and interest to the the street elevation. There are an array of bonding patterns for walls, sills and decorative elements.



Roof

- Minimum roof pitch of 25 degrees is required.
- An eave overhang of at least 350mm is required to habitable rooms, except where a habitable room extends within the eave overhang.
- Gables are required to have minimum 200mm overhang.
- Metal and flat profiled roof (shingle style) tiles are permitted.
- Permitted metal roof colours are depicted in the colour palette and specified in the Design Approval Application and Checklist. Tiled roofs are permitted in colours that match the metal palette. All roofs must demonstrate an absorbance value of 0.6 or less.



Gable features are encouraged.



• Skillions maybe be permitted at the developer's discretion.

Windows

→ A feature window of at least 1.5m² is required to the front elevation.

→ Windows to the front elevation are required to be either:

- Fixed
- Awning
- Casement
- Louvres
- Double hung



Entry

→ The entry way must be visible within primary or secondary street elevation.

→ The entry must contain glazing within the door or adjacent to the door.

Garage

→ Garages are required to be enclosed.

→ Garages must be setback a minimum of 0.5m behind the dwelling alignment (excludes portico, verandah or balcony).

→ On lots wider than 18m where an additional single car garage is proposed, the additional garage is required to be setback from the double garage by at least 0.5m.

→ The garage door colour must match or complement the front elevation to reduce its dominance within the street elevation.



- Roller shutters are not permitted on the primary or secondary street elevations.
- Carports are not permitted
- Translucent garage doors are not permitted

03 Keeping it Tidy



Keeping it Tidy

Fences

Fencing within the front setback is an important part of the visual character of your home.

→ Front fencing is only permitted with approval from the developer. Where a fence on the front boundary and within the front setback is proposed:

- It must be no higher than 1.2m
- May be masonry, open metal, timber or composite designs to match or complement the dwelling external wall colours and materials

→ No side boundary fencing is permitted to extend beyond the front of the dwelling unless approved by the developer.

→ Gates within fences are permitted where the height, material and colour match the boundary fencing provided by the developer.

Driveways and crossovers

Driveways and crossovers should be generally light in colour and complement the external colour and material selections of the home.

→ The driveway and crossover must be completed prior to occupancy and be constructed with one of the following materials:

- Brick
- Paving
- Liquid limestone
- Exposed aggregate concrete

→ Where there is a footpath provided, the driveway and crossover must terminate at the footpath to ensure a continuous pedestrian thoroughfare.

Boundary Walls

→ Walls built on the side or rear boundary must be finished to match the dwelling walls adjacent.

Parking

→ To maintain the streetscapes, the parking of caravans, campers, camp trailers, boats or commercial vehicles must be located within a garage or behind a fence to screen them from the street.

- Grey concrete is not permitted to driveway.



Bins

→ A dedicated location for bin storage is to be provided in the garage or behind the fence line. Bins in the bin storage area must not be visible from the street or laneway.

Letterboxes

- A letterbox is required to the front of every home in a colour and material that matches or complements the dwelling.
- Where a letterbox has been installed on your lot by the developer, it may not be removed.

Outbuildings

Outbuildings of any size are not permitted except where the outbuilding is a lower height than the side boundary fence height or concealed from view by use of appropriate screening approved by the developer.

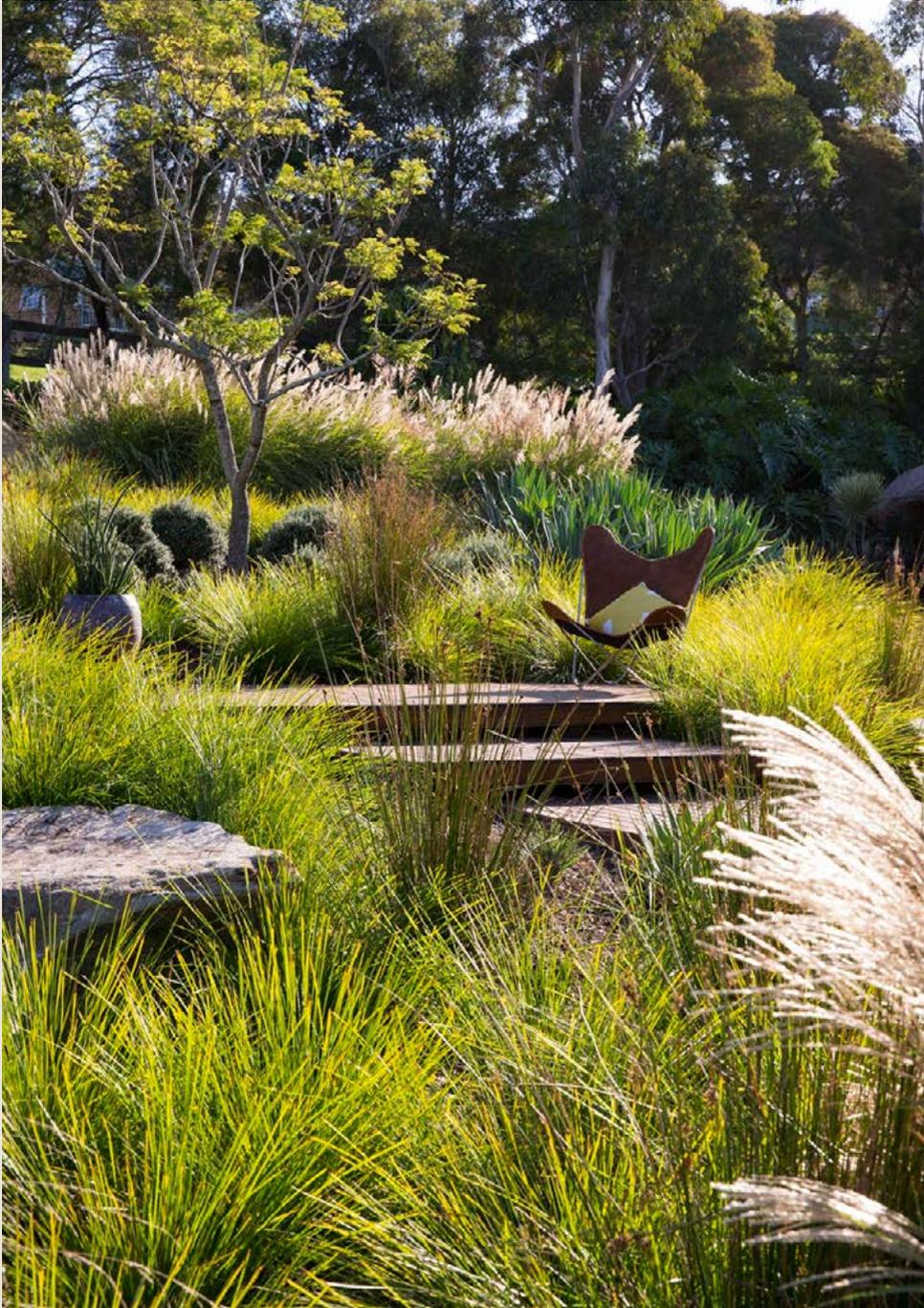
Service elements

Mechanical service equipment including air conditioning units, pool filtration equipment, motors and pumps should be suitably located to minimise visual impact and noise to neighbours and must comply with statutory requirements.

- Air conditioning units must not be visible above the boundary fence and should be located at ground level. Roof mounted air conditioning units must be colour matched to the roof.
- Antennas, satellite dishes, other roof mounted structures and hot water units must not be visible from the street.
- All piped and wired services entering the site must be concealed from public view so as not to detract from the appearance of the dwelling. This includes ducts being located within the building if visible from the primary or secondary street.

- Letterboxes on single poles are not permitted.

Environmental 04 Smarts



Environmental Smarts

Rivermark encourages the design and construction of homes which are efficient in energy and water use. A home which has good orientation, ventilation and light will not only be more comfortable to live in, but also cheaper to run.

Energy efficiency and renewable energy

- All homes must achieve a minimum 6 Star NatHERS Energy Efficiency rating or equivalent. The NatHERS Energy Rating or equivalent must be undertaken by an accredited energy assessor.
- All stand-alone homes must install a rooftop solar photovoltaic system of at least 4.5 kilowatts. This must be professionally installed. Mounting rails must extend no more than 50mm beyond the frames of the solar modules.

Climate responsive design

Home designs that are suitable for the local climate will enhance occupant health and comfort through passive design, rather than a reliance on mechanical heating and cooling. This in turn will reduce running costs and deliver long-term environmental benefits.

Incorporating the following fundamental design features is **recommended** to ensure optimum energy efficiency and comfort:

- ⇒ One main living room should have a north facing orientation and include windows to the northern wall.
- ⇒ At least 25 per cent of any outdoor living area should have direct access to sunlight through mid-winter (from midday, 21 June).
- ⇒ Windows should be shaded with external shading devices such as wide eaves, canopies, awnings, screens, trees and pergolas.
- ⇒ The inclusion of performance rated (WERS) window and glass doors can assist with reducing heat gain and loss.
- ⇒ Consider having two external openings to each habitable room to improve cross flow ventilation through the home.

⇒ Consider increasing the openable area of your windows for greater ventilation. Where possible, include openings in two different external walls to improve cross ventilation.

⇒ External window and doors should be well sealed when installed. New homes are increasingly being pressure tested to ensure they are well sealed, which greatly influences thermal comfort and energy efficiency.

The link below provides a list of current registered air tightness assessors:

www.bcta.group/attma/members/air-tightness-testers/australia/

Fixtures and appliances

All electric homes are typically more cost-effective to run. Research is beginning to support moving away from using gas inside homes for a range of reasons. Reticulated gas is not available at Rivermark, and we encourage homeowners to take full advantage of their all-electric homes by selecting efficient appliances and making the most of renewable energy systems.

The following recommendations support all-electric homes at Rivermark:

⇒ For hot water heating, select a heat-pump system or solar water heater with electric booster for larger homes and for smaller dwellings on cottage lots select an electric instantaneous system (continuous flow water heater).

⇒ Select a minimum 3 Star energy rated air conditioning system, sized appropriately for the space. Systems that are too small will use more energy without suitably cooling or heating rooms.

⇒ Purchase electrical appliances which have at least a 4 Star rating.

⇒ Consider installing a 'master switch' to enable all appliances to be turned off simultaneously or install 'stand-by' power switches.

⇒ Install LED light globes throughout the home.

⇒ Add motion sensors to outdoor lights and low-use rooms such as the front entry, garage and yard spaces, and internal rooms such as storage areas, pantry and walk-in-robos.

⇒ Consider installing an induction cooktop.

Water efficiency and conservation

Perth is in a dry climate zone with limited rainfall. Local drinking water is increasingly sourced from desalination treatment plants, which have a high energy demand. There are many things you can do to reduce your water consumption in and outside the home.

To optimise efficient water usage, all homes at Rivermark are required to be fitted with:

→ Minimum 3 Star WELS rated shower fittings

→ Minimum 6 Star WELS rated basin taps

→ Minimum 4 Star WELS rated taps generally, excluding outdoor and bath taps.

→ Swimming pools must be fitted with a fixed retractable pool cover.

⇒ Consider selecting at least a 4.5 Star WELS rated dishwasher and at least a 4 Star rated washing machine to further improve water efficiency around the home.

Water sources

Rainwater harvesting can be used to achieve mains water savings and reduce costs. Rainwater tanks are not mandatory at Rivermark, but homes must be designed to easily accommodate a rainwater connection now, or in the future.

→ All toilets and washing machine cold taps must be installed with dual plumbing to allow for future connection to an alternative water source such as rainwater, without breaking the fabric of the building.

→ Building plans must identify a suitable location for the installation of a rainwater tank with a minimum roof catchment area of 70m² delivered to that location. The location should allow simple connection to the dual plumbing network and allow for a tank to overflow into a soak well or other approved stormwater solution.

⇒ It is recommended that homes on lots of 300m² or larger are plumbed with appropriate pipework to be 'grey water ready' as per The West Australian Greywater Guide 2019 available at www.watercorporation.com.au

⇒ Rainwater tanks are recommended – for lots greater than 300m² a 3,000 litre rainwater tank is recommended, while a 1,500 litre tank is recommended for smaller lots.

The link below provides further information about the efficient use of rainwater:

www.water.wa.gov.au/urban-water/water-recycling-efficiencies/waterwise-community-toolkit/rainwater

⇒ Greywater diverter garden reticulation systems installed to washing machines and/or showers are recommended where there is sufficient, suitably located irrigated garden area. The Department of Health maintains a list of approved diverter systems, which must be installed by qualified plumbers. Filtration and pump system and sub-surface irrigation pipework must be installed to Department of Health requirements.

The links below provide further information about greywater systems and installation:

- www.gwig.org
- www.water.wa.gov.au/urban-water/water-recycling-efficiencies/waterwise-community-toolkit/greywater

Construction waste recycling

Recycling and re-use of excess construction waste materials construction is increasingly common, and there are several reputable waste management recycling companies now operating in Western Australia.

Builders must adhere to the following requirements when constructing a home in Rivermark:

- Control potential for wind-blown waste by using an appropriate solid-sided storage receptacle on site;
- Follow applicable local government by-laws or building permit requirements; and
- Maintain a clean and tidy building site that discourages illegal dumping.

⇒ All construction companies building at Rivermark are recommended to engage a reputable waste management recycling company to capture, recycle and/ or re-use a minimum of 80 per cent (by volume) of construction waste materials generated during construction of any dwelling, and to monitor and verify recycling rates.

Waste management in the home

Household waste is a major environmental concern which impacts ground, water and air quality and native fauna. The more waste that can be diverted into recycling, or not generated at all, the more benefit there is to the local Rivermark environment.

To support greater recycling and reduce landfill the following are recommended:

- ⇒ Install separate and multi-use waste separation bins in the kitchen for recyclables, compost and general waste.
- ⇒ Incorporate compost bins and / or worm farms to recycle food scraps and garden green waste into your garden design.

Safe and accessible homes

Homes designed for universal access allow for ease of access for people with varying mobility. This design approach also allows residents to remain in their own homes for longer as they age, or if their mobility becomes limited as the result of an injury or accident.

There are simple design and fit-out features which can be incorporated during construction to improve access and allow for futureproofing.

Recommendations include:

- ⇒ At least one level entry into the home from the street. This may be via the front door or the garage.
- ⇒ Internal doors should be a minimum width of 850mm.
- ⇒ Incorporate a ground level bathroom and toilet with easy access. Bathrooms should have a minimum internal room size of 2.3m x 2m, and toilets a minimum internal room size of 1.6m x 1m, to allow for future grabrails and wheelchair access.

⇒ Showers should be hobless (step-free).

⇒ Bathroom basins should be semi-recessed.

⇒ All door handles and light switches should be positioned in a consistent location between 0.9m to 1.1m above floor level and should be lever types.

⇒ Power points should not be installed lower than 0.3m from the floor.

Noise

The following are **recommended** to ameliorate noise within the home.

- ⇒ All external glazing to be a minimum 6mm thick;
- ⇒ External operable windows to habitable rooms be fixed or awning style;
- ⇒ External sliding doors, bifold doors or similar to be fitted with acoustic seals;
- ⇒ Timber entry or timber doors to habitable rooms to be minimum 35mm thick, solid timber core with full perimeter acoustic seals.



05 Gardens



Gardens

Waterwise gardens

All gardens at Rivermark must be sustainably landscaped and conform to waterwise garden principles. Sustainable landscaping requires the planting of indigenous plants which are native to the local area.

Rivermark will provide waterwise front landscaping as part of the landscaping package offered to purchasers in each contract for sale.

Waterwise principles should apply to all garden spaces within lots, not just front gardens.

→ Synthetic lawn is not permitted within any verge or front yard

⇒ It is recommended that at least 80% of plants within gardens at Rivermark are waterwise, native plants.

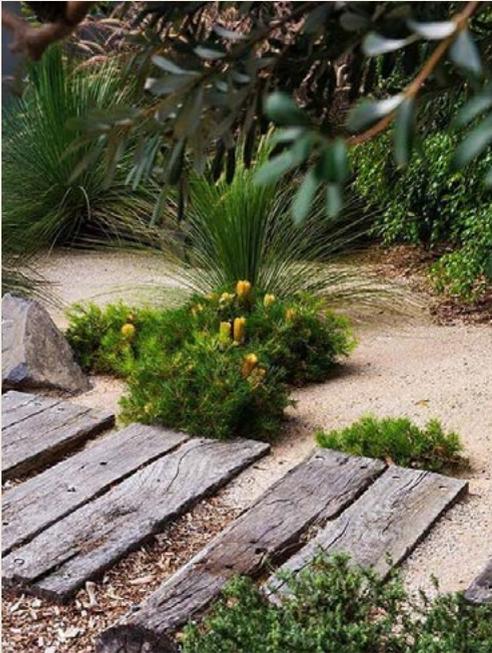
Irrigation

The following waterwise irrigation features are **recommended**:

- ⇒ Sub-surface drip lines around plants
- ⇒ Weather-based electronic timers
- ⇒ Soil amelioration to increase the effectiveness and efficiency of the irrigation
- ⇒ Mulch is applied to a 100mm depth.

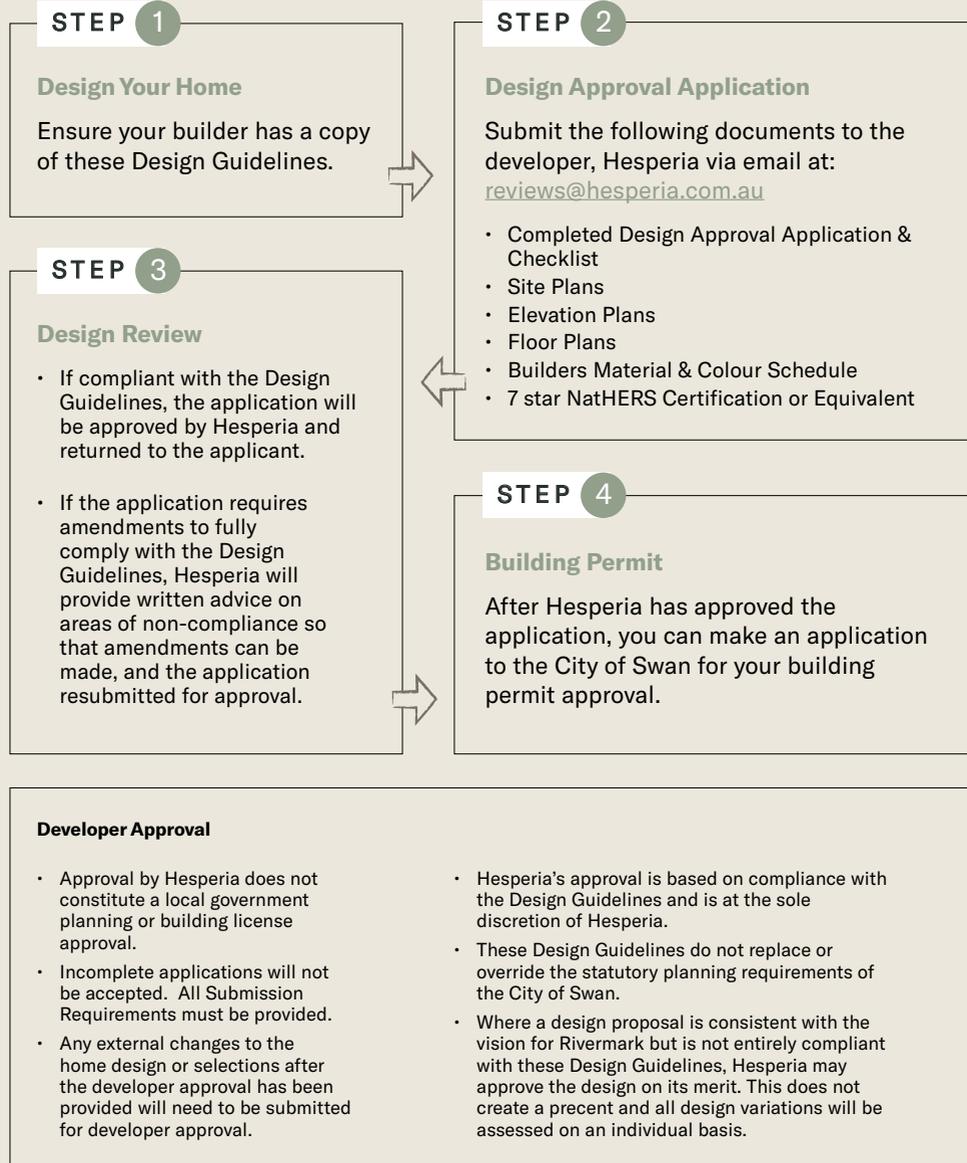






Design Approval 06 Process

The Process



Design Application & Checklist

LOT OWNER

Name:

Phone: Email:

Address: State: Postcode:

APPLICANT

Name:

Phone: Email:

Address: State: Postcode:

SUBMISSION REQUIREMENTS

All applications must include:

Site Plan Floor Plans Builders Material and Colour Schedule

Elevation Plans 7 Star NatHERS Certification or Equivalent

DESIGN VARIATION RATIONALE

For non-conforming designs provide a list of measures to ensure that the Design Guidelines are being upheld or improved.

.....

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DECLARATION

All Statements made in this application are true and correct.

Applicant/Lot Owner Signature Date:

Print Name:

Requirements

This checklist is provided to assist with your application.
Full design requirements can be found in the contract of sale.

STREET APPEAL	Yes ✓	No ✓	N/A ✓
1. Primary elevation includes a minimum of one of the following architectural features:			
• Balcony			
• Portico			
• Verandah			
• Gable			
• Non-standard brick bonding as a feature wall			
• Other: _____			
2. If the lot is less than 14m wide and the garage is accessed from the primary street a minimum of one of the following elements is incorporated:			
• A gabled garage			
• A planted Trellis over the garage door to the extent of the opening as a minimum			
• A garage setback of 1.5m or more from outside wall of main internal room of dwelling			
• Cars are parked within a pergola which is screened on at least two sides			
• The external walls of a portico, verandah or main roof of the dwelling are a minimum of 3c higher than the garage external walls			
• The garage is contained within a double story and contains a balcony or Juliette balcony over the garage.			
3. Face brick is incorporated into primary elevation by its use in one of the following:			
• Walls of the primary elevation			
• Letterbox			
• Planters			
• Fence			
• Other: _____			

	Yes ✓	No ✓	N/A ✓
4. The primary elevation incorporates two different colours and materials. Where the secondary colour and/or material occupies at least 20% of the elevation.			
Primary Material:			
Secondary Material:			
Primary Colour:			
Secondary Colour:			
5. Material and colour finishes change at re-entrant corners and continue at least 1m alongside elevation.			
6. If the lot is on a corner, a major opening from a habitable room forward of the fence line addresses the secondary street and wall materials continue to the fence line as a minimum.			
7. Roof pitch is a minimum of 25 degrees.			
8. An eave overhang of at least 350mm is provided to habitable rooms, except where a habitable room extends within the eave overhang.			
9. Any gables have minimum 200mm overhang.			
10. The roof material and colour complies with Design Guidelines.			
Material:			
Colour:			
Absorbance Value:			
11. A feature window of at least 1.5sqm is provided to the primary elevation.			
12. Windows to front elevation are fixed, awning, casement, double hung or louvred.			
13. The entry way is visible from the primary or secondary street elevation.			
14. The entry door contains glazing, or a sidelight is incorporated adjacent to the door.			
15. An enclosed garage is provided.			
16. The garage is setback behind the dwelling alignment by at least 0.5m.			
17. Garage door colour:			

KEEPING IT TIDY	Yes ✓	No ✓	N/A ✓
18. Where front fencing is proposed, it is depicted on plans and is less than 2.2m in height.			
Fencing materials:			
Fencing colour:			
19. Driveway & crossover will be completed prior to occupancy.			
Driveway material:			
Driveway colour:			
20. Walls built on a side or rear boundary are finished to match the dwelling walls adjacent.			
21. Bin storage that is not visible from the street is provided.			
22. All service elements are concealed from the street in accordance with design guidelines.			

ENVIRONMENTAL SMARTS	Yes ✓	No ✓	N/A ✓
23. The dwelling achieves a minimum 7 star NatHERS Energy Efficiency rating or equivalent.			
24. A rooftop solar system of at least 4.5kw is provided or indicated as by owner.			
25. To optimise efficient water usage the following fittings are provided:			
• Minimum 3 Star WELS rated shower fittings			
• Minimum 6 Star WELS rated basin taps			
• Minimum 4 Star WELS rated internal taps (excluding bath taps)			
• Swimming pool will be fitted with a fixed retractable pool cover			
26. All toilets and washing machine cold taps will be installed with dual plumbing to allow for future connection to an alternative water source such as rainwater, without breaking the fabric of the building.			
27. Building plans identifies a suitable location for the installation of a rainwater tank with a minimum roof catchment area of 70m ² delivered to that location.			

Approval

APPROVED

Design approval is granted based on the application and plans submitted.

On behalf of Hesperia: Date:



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HESPERIA

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